

AE KINGFISHER DEVELOPMENTS L34 AT WAIPIKO DRIVE

ARCHDES EVOLUTION DESIGN STUDIO



Your Ideas | Your Vision | Your Dreams | Realised

CONCEPT DESIGN

FOR: WAIPIKO DRIVE, TE AWAMUTU

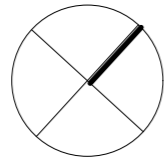
FLOOR AREA SUMMARY:

O/FRAME AREA	185.96m ²
O/CLADDING AREA	191.02m ²
O/ROOF AREA	200.47m ²

BUILDING SUMMARY NOTES:

STUD HEIGHT: = 2.570m

UNLESS NOTED OTHERWISE,
EXTERNAL JOINERY HEIGHT = 2.200m
INTERNAL DOOR LEAF HEIGHT = 2.200m



KINGFISHER DEVELOPMENTS L34

DISTRICT PLAN RULES:

**WAIPA DISTRICT COUNCIL
MEDIUM DENSITY RESIDENTIAL ZONE ZONE;
PLANNING RULES AND REGULATION BREAKDOWN**

DEV. LAND USE CONSENT LU/0313/21 SUPERSEDES THE WDP-RZ RULE 2A.4.2.9
MAX BUILDING HEIGHT:
MAX BUILDING HEIGHT (1): 8.0m

DEV. LAND USE CONSENT LU/0313/21 SUPERSEDES THE WDP-RZ RULE 2A.4.2.10
HEIGHT IN RELATION TO BOUNDARY:
ALL BDYS 2.7m @ 45°

DEV. LAND USE CONSENT LU/0313/21 SUPERSEDES THE WDP-RZ RULE 2A.4.2.1 & 4
YARD SETBACKS:
FRONT YARD 3.0m
GARAGE SETBACK 5.4m
GARAGE SETBACK FROM FRONT FACADE 1.0m
SIDE YARD 1.5m
REAR YARD 1.5m

DEV. LAND USE CONSENT LU/0313/21 SUPERSEDES THE WDP-RZ RULE 2A.4.2.11
SITE COVERAGE:
MAX SITE COVERAGE 45% / 207.0m²

SITE COVERAGE CALCULATION:
BUILD. AREA (O/CLAD) = 191.02m²
+ ADD. ROOF AREA = 2.68m²
TOTAL COVERAGE = 193.7m² = 38.1%

DEV. LAND USE CONSENT LU/0313/21 SUPERSEDES THE WDP-RZ RULE 2A.4.2.12
IMPERMEABLE COVERAGE:
MAX IMPERMEABLE COVERAGE 55% = 253.0m²
SITE IMPERMEABLE COVERAGE CALCULATIONS:
ROOF = 200.47m²
HARDSTAND AREAS = 45.6m²
TOTAL = 246.11m² = 54%

DEV. LAND USE CONSENT LU/0313/21 SUPERSEDES THE WDP-RZ RULE 2A.4.2.18
OUTDOOR LIVING AREA:
MIN. AREA: = 40.0m²
MIN. OLA DIMS: = 4.0m

EARTHWORKS:
MAX. EARTHWORKS AREA = 250.0m²
MAX. EARTHWORKS VOLUME = 25.0m³

DEV. GUIDELINES:
FENCING:
SETBACK FROM FRONT FACADE = 1.5m

LANDSCAPING REQUIREMENTS:
FRONT YARD TO INCLUDE A MINIMUM OF 1 SPECIMEN TREE OF A MINIMUM HEIGHT OF 1.5M AT THE TIME OF PLANTING.

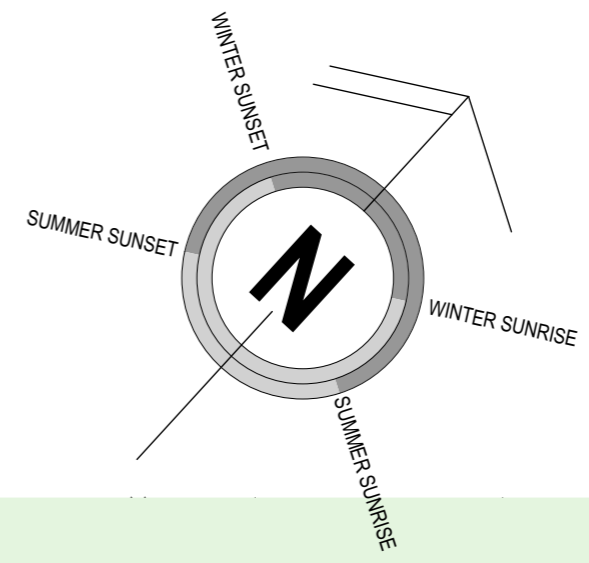
A MINIMUM OF 30 PB5 PLANTS (PB18 FOR HEDGE PLANTS) TO BE INCLUDED WITHIN THE FRONT YARD.

FENCE TYPE:
NEIGHBOUR FRIENDLY FENCE: 1800MM HIGH TIMBER PALING FENCE WITH STAIN FINISH. RESENE WOODSMAN OR SIMILAR. COLOUR: SHEER BLACK
FRONT YARD INTERNAL + PRIVACY SCREEN FENCE: 1200MM HIGH PRE-FINISHED ALUMINIUM METAL FENCE, BOUNDARYLINE DURAPANEL AXIS OR SIMILAR. POWDERCOAT FINISH. COLOUR: FLAXPOD

DRIVEWAY + PEDESTRIAN ENTRY PATH:
CONCRETE FINISH WITH MIN. 4KG BLACK OXIDE/M3, EITHER ACID ETCHED OR BROOM FINISH.

WATER TANK:
RECESSIVE COLOUR TO RELATE TO EITHER HOUSE CLADDING OR FENCE COLOUR.

RETAINING WALLS:
FIRTH EZI-WALL GRAVITY WALL WITH ONYX COLOURED BLOCKS.



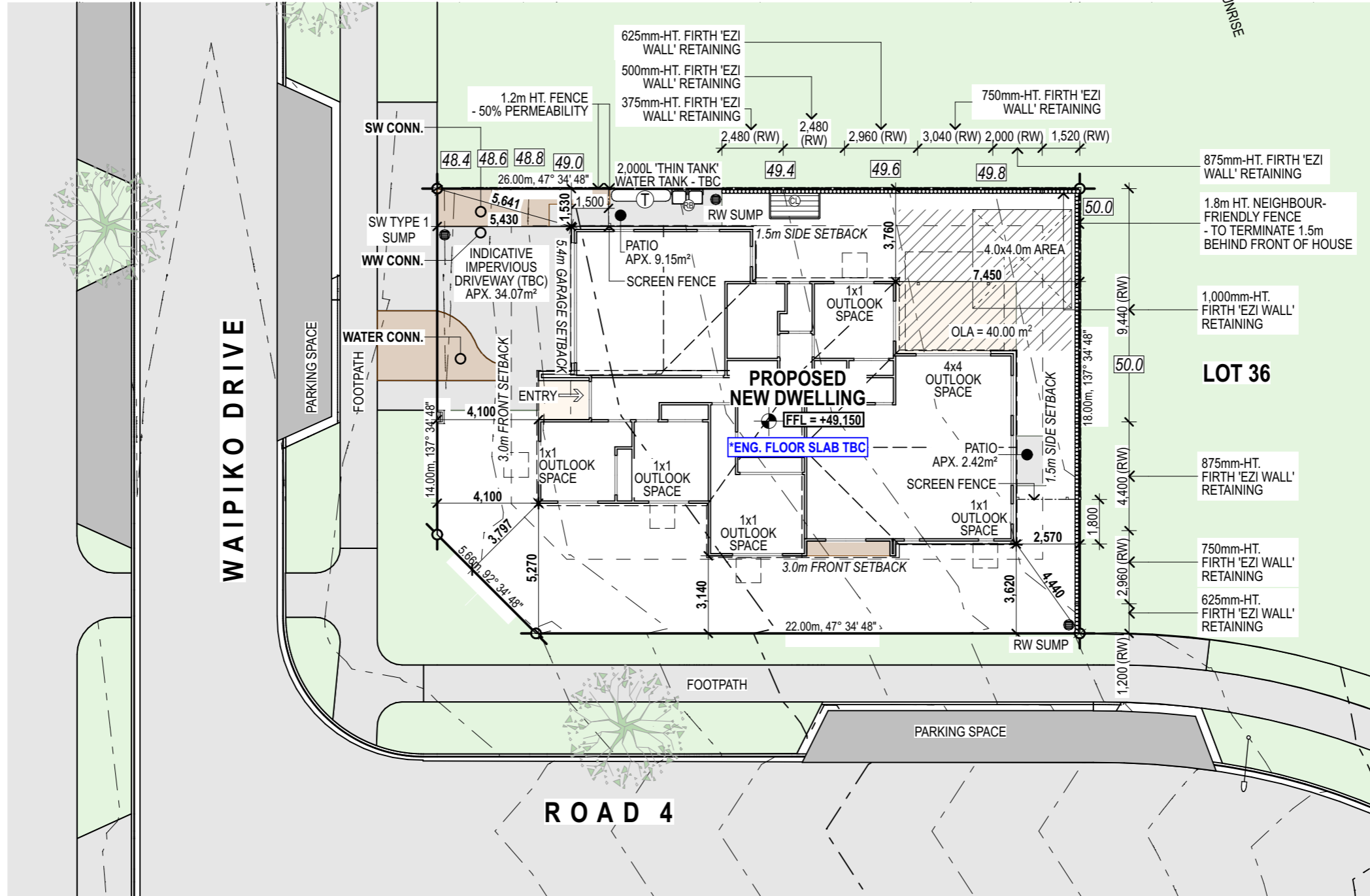
The contractor must confirm site dimensions, levels, and service locations before starting work and promptly inform the ARCHDES Evolution of any errors or omissions. Use written dimensions, not scaled drawings, for construction. Strictly adhere to the drawings for Code Compliance, documenting and submitting any deviations to the local Council or Territorial Authority. This drawing is the confidential design of ARCHDES Evolution, authorised for use only with written approval. Documents are subject to New Zealand Copyright Laws and require approval for disclosure.
PLANS MUST BE READ IN CONJUNCTION WITH KEY NOTES SUMMARY PAGE

SITE INFORMATION:
ADDRESS: WAIPIKO DRIVE WAIPIKO LANDING SUBD. 1248 CAMBRIDGE ROAD TE AWAMUTU
LOT NUMBER: 34
DP NUMBER: TBC
SITE AREA: 460.00m² (NET AREA)

WIND / EQ / EXPOSURE ZONE: HIGH / 1 / B
SNOW LOAD: N/A
CLIMATE ZONE: 2
RAINFALL INTEN: 90mm/hr
SOIL TYPE: TBC

T/A: WAIPA DISTRICT COUNCIL

REDUCED LEVELS REFERENCE:
DATUM REFERENCE POINT: MOTURIKI DATUM



RevID	ChID	Revision	Date
CPT02			09/10/2024

KINGFISHER DEVELOPMENTS
CLIENT: KINGFISHER DEVELOPMENTS

SITE ADDRESS: LOT: 34
WAIPIKO DRIVE, TE AWAMUTU
SITE INFO/ZONES: T/A: WAIPA DISTRICT COUNCIL
CLIMATE ZONE: 2
WIND ZONE: HIGH | EARTHQ. ZONE: 1
EXPOSURE ZONE: B | SNOW LOAD: N/A

SITE PLAN
DWG SCALE: 1:200

DATE: 09/10/2024 PROJECT#: MSG2406 | CPT02



BUILD SPECIFICATION SUMMARY

FOUNDATION FOOTINGS / SLABS

3.2.1.1 * ENGINEERED WAFFLE/POD CONCRETE SLAB

ENCLOSURE - WALL CLADDING

4.2.1 70 SERIES CANTERBURY CLAY 'SMOOTH ROMAN' BRICK VENEER CLADDING
 4.2.2 JAMES HARDIE EASYLAP PANEL OVER CAVITY WITH 65x18mm BATTENS @ 300CRS (COLOUR: RESENE TAUPE GREY)

ENCLOSURE - ROOFING

4.3.1 DIMOND STYLELINE METAL LONGRUN ROOFING WITH COLORCOTE FINISH - COLOUR: IRONSAND
 4.3.2 FINELINE MULTILINE 150 FASCIA
 4.3.3 JAMES HARDIE 4.5mm HARDIFLEX SOFFIT LINING

LIQUID SUPPLY

7.1.1.2 ELECTRIC WATER HEATER RHEEM 180L HWC
 - COPPER CYLINDER DRAIN WITH TRAP. HWC SAFE TRAY TO BASE OF CYLINDER, DISCHARGE TO APPROVED OUTLET

STORMWATER DISPOSAL

7.1.2.2 FINELINE 150 QUAD GUTTER
 7.1.4 80mm DIA. ROUND DOWNPIPES



Resene Taupe Grey



Resene Ironsand



Canterbury Clay "Smooth Roman"



Abodo Tundra "Walnut Brushed"



ELEVATION KEY

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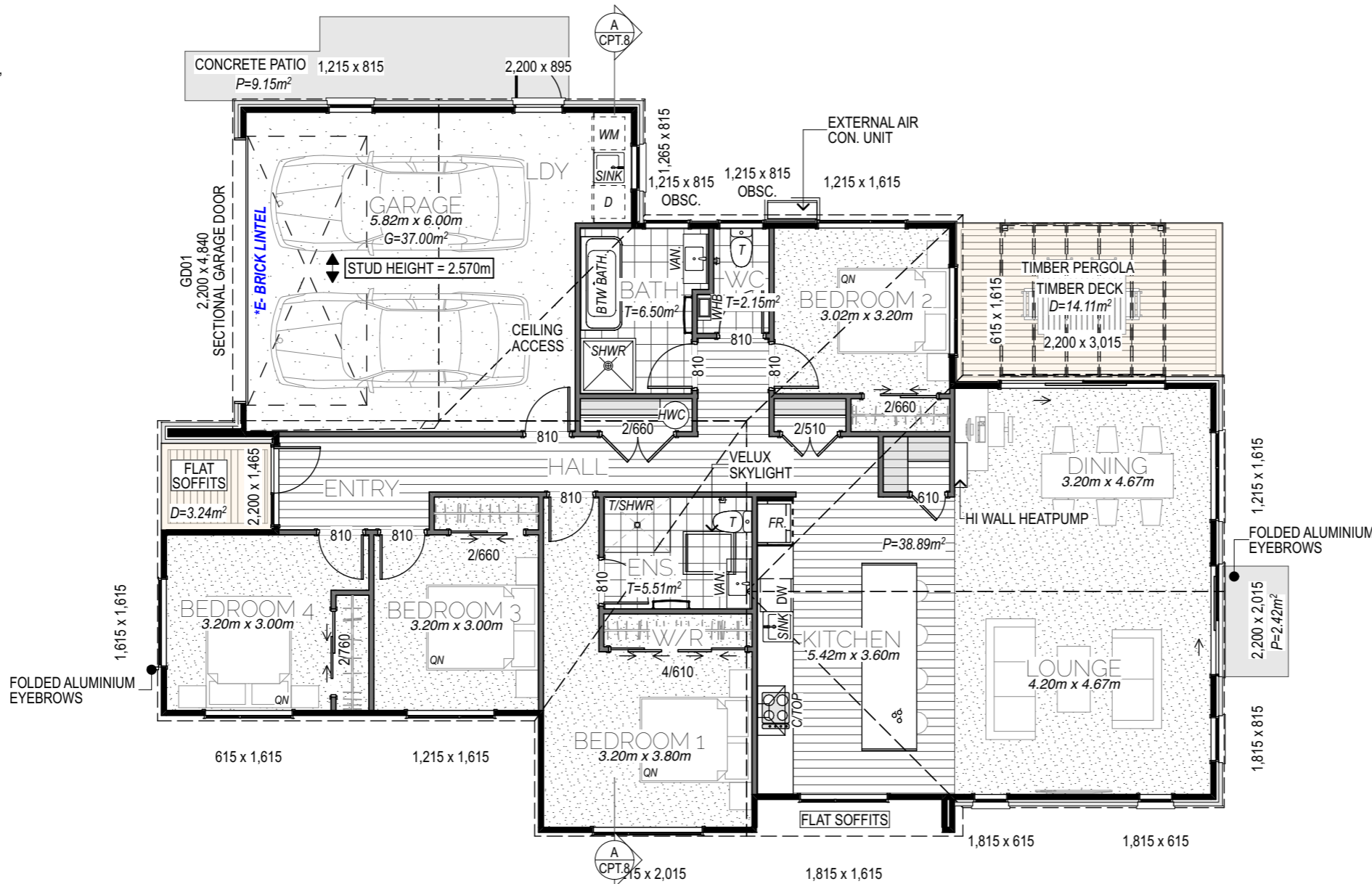
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PRELIM. ENGINEERING SCOPE:

- PRELIMINARY ENG. SCOPE:
 - FLOOR SLAB
 - RETAINING WALLS (FIRTH)
 - GARAGE DOOR BRICK LINTEL
 - ALL RELEVANT CONNECTIONS, SUPPORTING MEMBERS, AND CONNECTIONS BETWEEN ENG MEMBERS AND MISC. MEMBERS (EG. BEAM TO BEAM, BEAM TO POST ENG CONNECTIONS ETC)

** ENGINEERS TO SHOULD TAKE A PROFESSIONAL APPROACH TO DESIGN WORK, ENSURING AN EFFICIENT DESIGN AND PROVIDING SUGGESTIONS FOR BETTER AND MORE COST-EFFECTIVE, EFFICIENT, AND BUILDABLE

FOLDED ALUMINIUM EYEBROWS: 5mm FOLDED ALUMINIUM EYEBROWS 400mm DEEP TO FORM SUN SHADES OVER NORTHERN AND WESTERN WINDOW JOINERY. POWDERCOAT FINISH. COLOUR: FLAXPOD (TBC).



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CPT0	2		09/10/2024

KINGFISHER DEVELOPMENTS

CLIENT: KINGFISHER DEVELOPMENTS

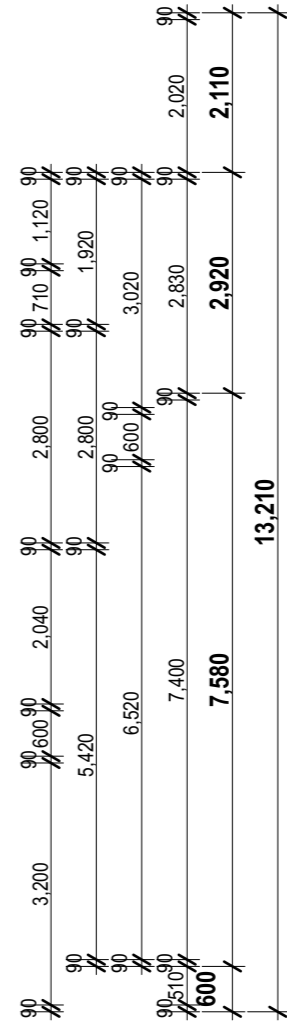
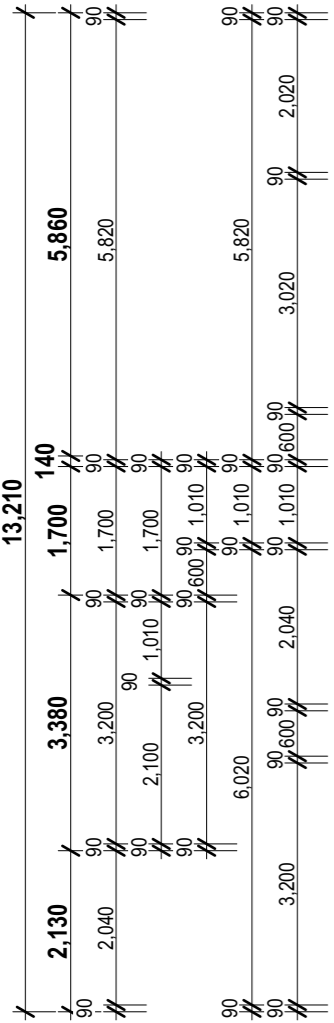
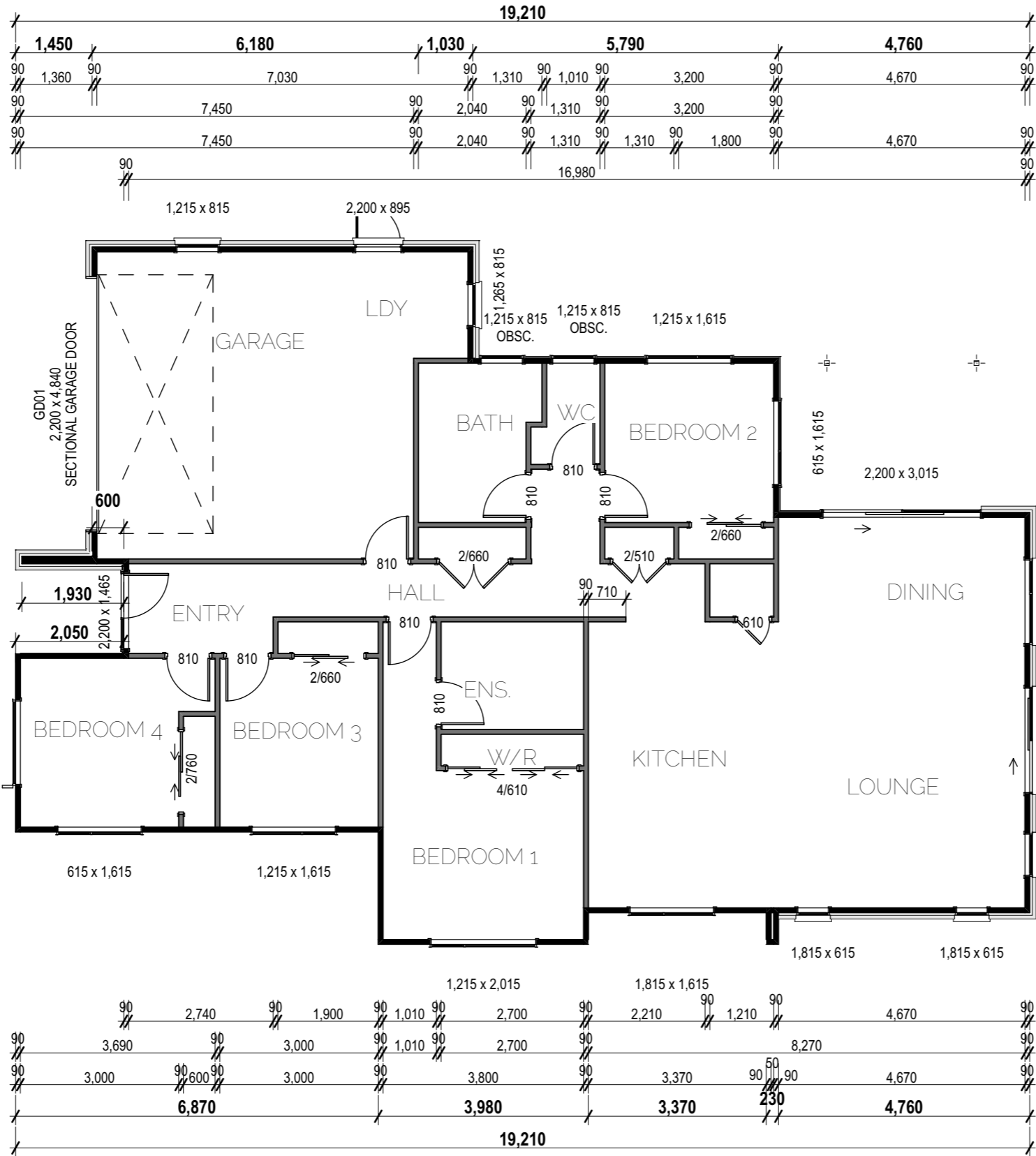
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 WIND ZONE: HIGH | EARTHQ. ZONE: 1
 EXPOSURE ZONE: B | SNOW LOAD: N/A

FLOOR PLAN

DWG SCALE: 1:100, 1:3.2277

DATE: 09/10/2024 PROJECT#: MSG2406 | CPT02

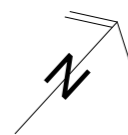




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FLOOR DIMENSION PLAN
 DWG SCALE: 1:100



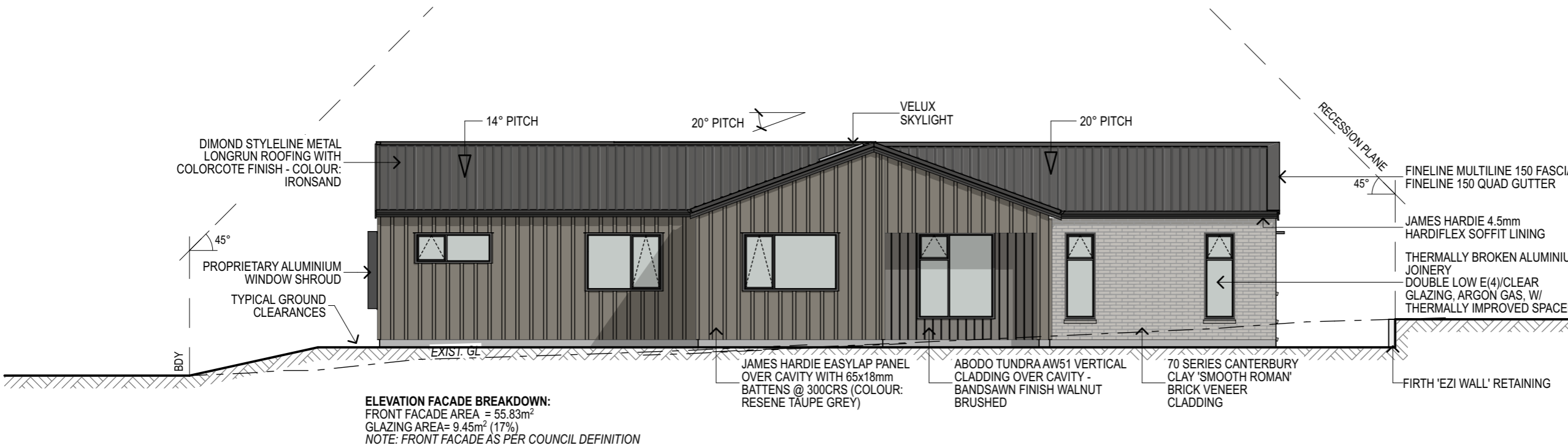
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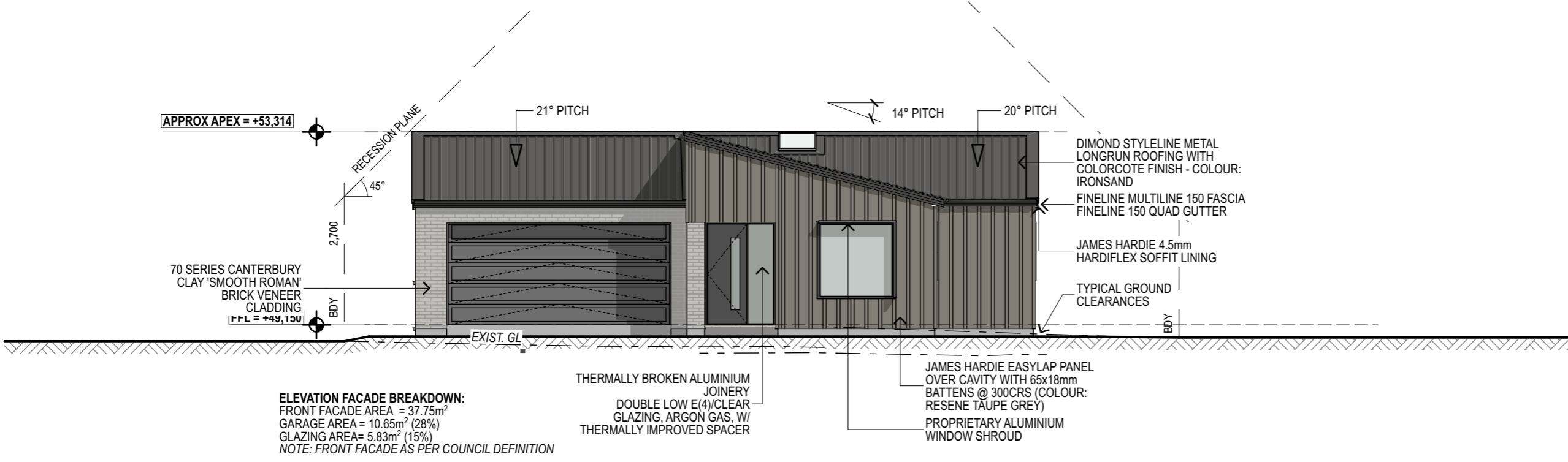


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 4.2.3 ABODO TUNDRA AW51 VERTICAL CLADDING OVER CAVITY - BANDSAWN FINISH WALNUT BRUSHED
- ENCLOSURE - ROOFING**
 4.3.1 DIMOND STYLELINE METAL LONGRUN ROOFING WITH COLORCOTE FINISH - COLOUR: IRONSAND
 4.3.2 FINELINE MULTILINE 150 FASCIA
 4.3.3 JAMES HARDIE 4.5mm HARDIFLEX SOFFIT LINING
- LIQUID SUPPLY**
 7.1.1.2 ELECTRIC WATER HEATER RHEEM 180L HWC - COPPER CYLINDER DRAIN WITH TRAP. HWC SAFE TRAY TO BASE OF CYLINDER, DISCHARGE TO APPROVED OUTLET
- STORMWATER DISPOSAL**
 7.1.2.2 FINELINE 150 QUAD GUTTER
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ELEVATION 1
1:100



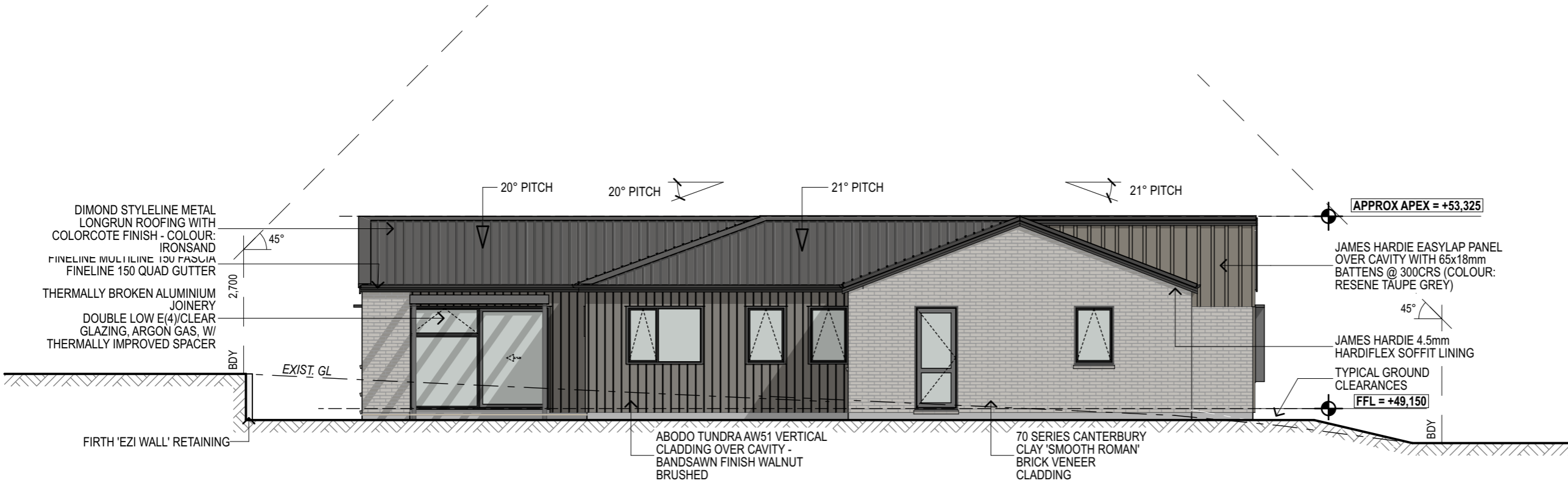
ELEVATION 2
1:100

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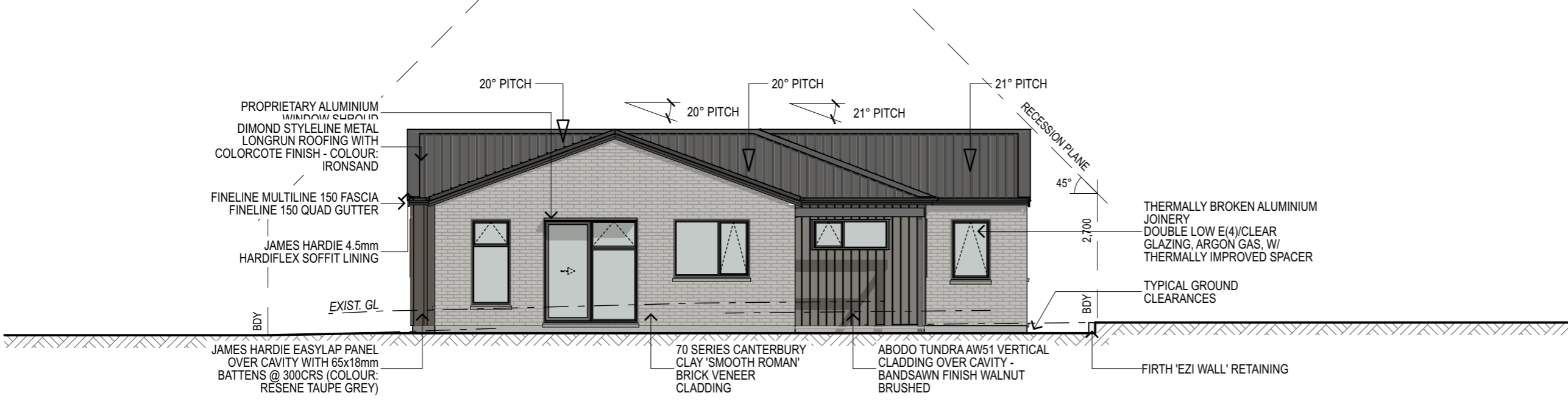
ELEVATIONS
 DWG SCALE: 1:100





ELEVATION 3

1:100



ELEVATION 4

1:100

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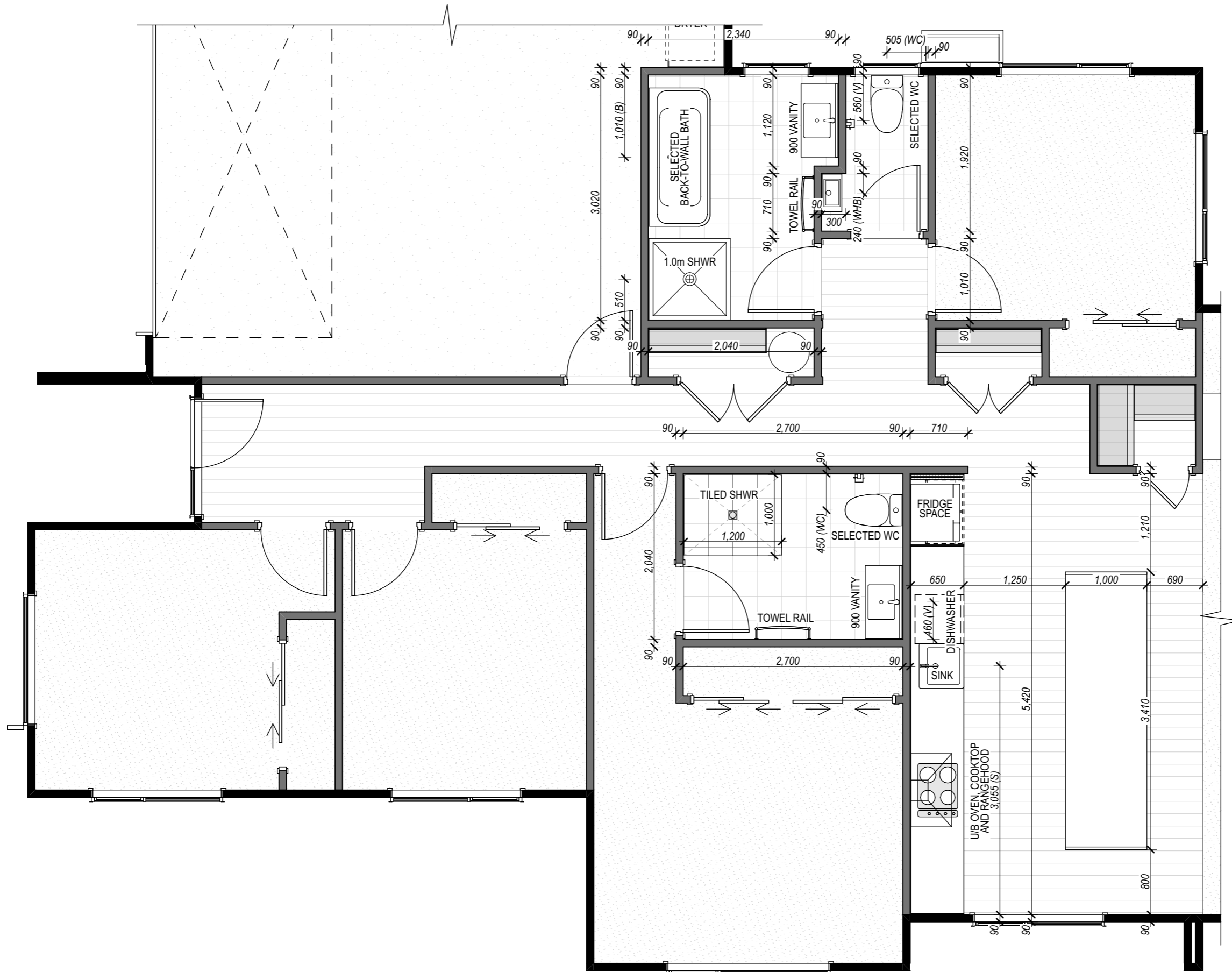
EXPOSURE ZONE: B | SNOW LOAD: N/A

ELEVATIONS

DWG SCALE: 1:100

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KINGFISHER DEVELOPMENTS

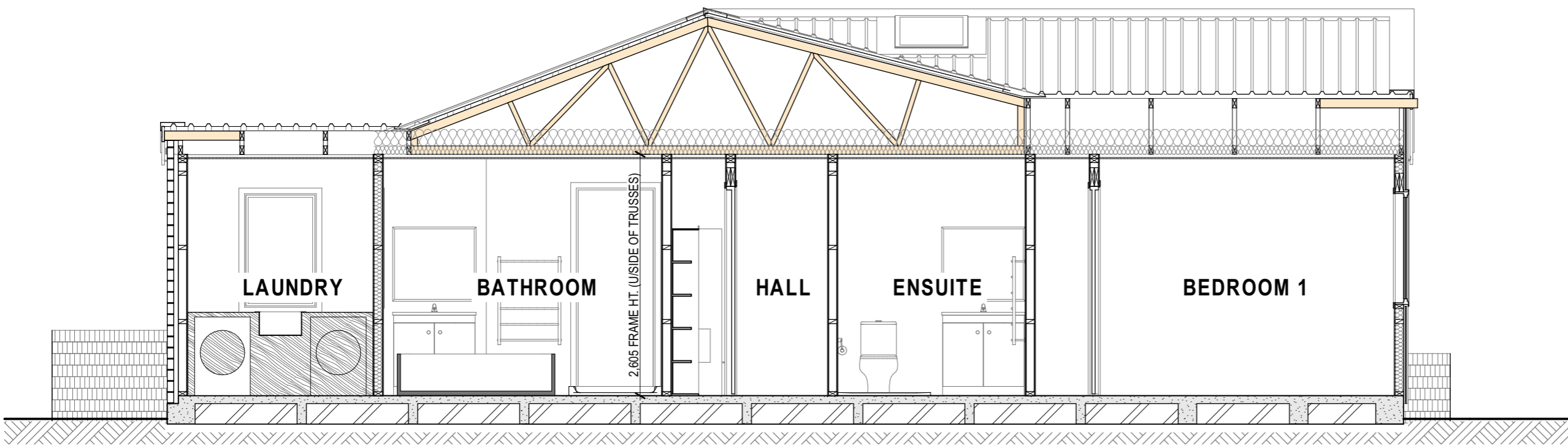
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KITCHEN & BATHROOM PLANS

DWG SCALE: 1:50
 DATE: 09/10/2024 PROJECT#: MSG2406 | CPT02





CROSS SECTION
A-A

RevID	ChID	Revision	Date
CPT0			09/10/2024
2			

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SECTIONS
 DWG SCALE: 1:1, 2:500, 1:50

